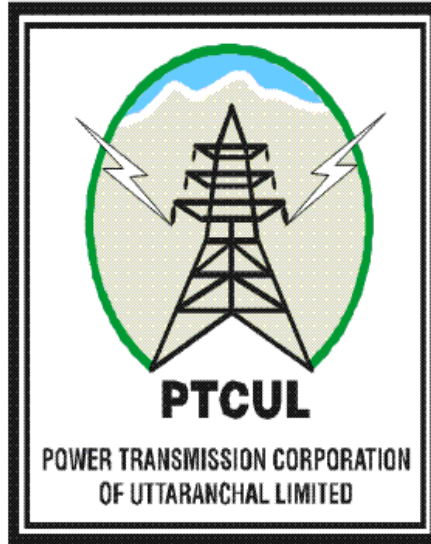


**POWER TRANSMISSION CORPORATION OF UTTARAKHAND LTD.
SUPERINTENDING ENGINEER (O&M) 400KV SUBSTATION O&M OFFICE
VIRBHADRA RISHIKESH**



**TENDER DOCUMENTS
FOR**

**ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV
SUBSTATION, VIRBHADRA RISHIKESH TENDER SPECIFICATION NO. T-05/SE(O&M)R/2020-21**

Date of receiving of Tenders: 16.00 Hrs on 31.01.2021

Date of opening of Tenders: 16.00 Hrs on 01.02.2021

Cost of tender documents: Rs. 250.00+GST18% i.e. Rs. 295.00 (Non-refundable)

TENDER NOTICE

**OFFICE OF THE SUPERINTENDING ENGINEER (O&M) 400KV SUBSTATION O&M
OFFICE VIRBHADRA RISHIKESH
BIDS REQUIRED FROM EXPERINECE CONTRACTORS ANNUAL MAINTENANCE CONTRACT OF
ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESH
TENDER
SPECIFICATION NO. T-05/SE(O&M)R/2020-21**

DOWNLOADED BY:-----

M/s. _____

S. No.	DESCRIPTION	ENTRY
1.	NIT Number	T-05/SE(O&M)R/2020-21
2.	Name of Substation or Transmission Line	400KV Substation Rishikesh
3.	Title of Tender	ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESH.
4.	EMD	Rs. 15,000.00 (Rs. Fifteen Thousand only) in the shape of FDR/TDR /CDR/B.G. duly pledged in the name of Executive Engineer 400KV O&M, Division, Virbhadra Rishikesh.
5.	Price of Tender Document	Rs. 250.00 + 18.00% GST i.e. Rs. 295.00 (Non-refundable) in the shape of DD in favour of Executive Engineer 400KV O&M, Division, Virbhadra Rishikesh.
6.	Time Limit	12 months
7.	Starting/Closing Date for Downloading Tender Document	Date of Starting 31.12.2020 Date of Closing: 30.01.2021
8.	Last Date for Submission of Tender Document	15.00 Hrs on 31.01.2021
9.	Opening Date of Tender	15.00 Hrs on 01.02.2021
10.	Address & Place of Tender issuing office	Superintending Engineer (O&M), PTCUL, 400KV O&M Circle, Virbhadra, Rishikesh-249202 Tel. No. 0135-2452890 E-mail: 400kvssrishikesh@gmail.com
11.	Type of Tender	Open Tender

Note:- The Tender documents, Price Bid formats can be downloaded from website www.uktenders.gov.in after submitting the DD towards cost of Tender Documents in the office of Superintending Engineer, 400KV O&M, Circle PTCUL, Virbhadra, Rishikesh & on making online request by using user Id. Password of above website & class III digital signature. All the tender documents will be carried out only through E-tendering mode and the bidder has to submit all his tender documents (Price Bid) in the e-tendering website <http://www.uktenders.gov.in> and in the mean time the bidders has to scan their Earnest Money Deposit (EMD) and all the pre-qualifying documents/Supporting Documents for uploading and also submit the hard copy to the office within the last date and time of tender.

SUPERINTENDING ENGINEER

INSTRUCTIONS TO BIDDERS AND GENERAL CONDITIONS OF CONTRACT

INTRODUCTION

1.0 GENERAL PARTICULARS:

1.0 The Power Transmission Corporation of Uttarakhand Ltd. Dehradun herein after called "PTCUL/OWNER" (the term would include PTCUL) intends to receive bids for ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESH through Superintending Engineer,400KV(O&M) Circle, Rishikesh as detailed in the accompanying specification in accordance with the terms & conditions herein. The bids shall be prepared and furnished as per these instructions.

2.0 REQUIREMENTS:

A: PRE-QUALIFYING REQUIREMENTS:

2.1 :COST OF TENDER DOCUMENTS: Tender document cost Rs. 250.00 plus 18.00 % GST i.e. Rs. 295.00 (Non-refundable) shall have to be deposited by the Tenderer in the shape of Demand Draft only in favour of **Executive Engineer,400KV O&M, Division Rishikesh** on any scheduled bank payable at Rishikesh. Tenders received without adequate amount of Tender document cost shall be rejected summarily.

2.2:EARNEST MONEY: Earnest Money amounting to Rs. 15,000.00 (Rs. Fifteen Thousand only) in the shape of CDR/FDR/TDR/B.G. duly pledged to **Executive Engineer,400KV O&M,Division Rishikesh** should be valid min. for six months from the date of opening of tender. Tenders received without adequate amount of Earnest money shall be rejected summarily.

B. TECHNICAL CRITERIA

2.3 The Tenderers should have submitted Tender downloading Application Form with tender documents.

2.4 The Tenderer/bidders should have adequate experience having successfully of such type of work i.e. "Annual Maintenance of residential colony/office's buildings in Government/PSU sector" during last five years, as per following conditions:

Three similar completed works costing not less than the amount Rs. 2.00 Lac.each.

Or

Two similar completed works costing not less than the amount Rs. 3.00 Lac.each.

Or

One similar completed work costing not less than the amount Rs. 4.00 Lac.each.

2.5 The Tenderer should furnish the details of their experience and statement of past works in the form "Details of orders executed during last five years" annexed. Photostat copies of order and performance reports of these items from various State Electricity Boards/other Govt. Departments also be given.

2.6 Experience certificate should be issued by an officer not below the rank of Executive Engineer mentioning nature of work, Agreement No., Amount of work, Scheduled time of completion of work and Actual time of completion etc.

C. FINANCIAL CRITERIA

3.1 Tender downloading application form is mandatory to be attached with tender documents.

3.2 Agreement of validity of duly executed on non-judicial stamp paper worth Rs. 100.00 duly affixed with Rs. 1.00 Revenue stamp should be submitted.

3.3 Copy PAN Card of Individual/Company/Firm/All partners in case of partnership firm should be attached.

3.4 Tenderer should have submitted copy of GST Registration.

- 3.5 The Employee Provident Fund (EPF) Registration Number shall be a mandatory PQR for award of Work Contracts, Manpower Contracts, Vehicle Hiring Contracts and Annual Maintenance Contracts etc. along with latest proof for submission of EPF of employees in EPF department.
- 3.6 RTGS/NEFT Details of the bidder is to be submitted.
- 3.7 Solvency certificate from Bank (20% of bid value) should be submitted.
- 3.8 Minimum Average Annual Turnover (MAAT) should be Rs. 7.50 Lac for the preceding best three years out of the last five financial years.

Note: The Balance sheet and other financial documents attested/ certified by CAs to substantiate fulfillment of FQR should be with UDIN failing which the tender will be summarily rejected without any further reference.

4.1 In case a bid is submitted by a bidder as a Joint venture (JV)

- a. In case a bid is submitted by a bidder as a Joint venture (JV) firm then such joint venture will be allowed for a maximum of two firms only where one will be the lead partner and the other firms will be treated as JV partners.
 - b. In case of Joint Venture, the following conditions shall also apply:
 - c. One of the partners shall be nominated as lead Partner, and the authorization shall be evidenced by submitting a Power of Attorney signed by legally authorized signatories of all the partners.
 - d. The Lead Partner shall be authorized to incur liabilities and receive instructions for and on behalf of any partners of the Joint Venture, and the entire execution of the contract, including payment, shall be done exclusively with the Lead PARTNER.
 - e. All partners of the Joint Venture shall be liable jointly and severally for the execution of the Contract in accordance with the contract terms, and a statement to this effect shall be include in the authorization mentioned under (c) above.
 - f. Agreement entered into by the joint venture partners shall be submitted with the bid and will remain in force during the tenancy of contract and Guarantee Period thereafter.
 - g. The lead partner of the Joint Venture firm should meet 100% of the Technical Qualifying Requirement (TQR) of the respective tender.
 - h. All partners of JV firm should have the experience for activities of Construction / Manufacturing of items or equipment/Supply of items or equipments or products, meant for transmission utilities only.
- 4.2 The Bidder/Collaborator/JV Partner must have executed similar works in the last Seven years and these works should be working satisfactorily. Certificate of completion, Agreement no., Amount of work done and schedule time of completion versus actual time of completion work not less the Rank of Executive Engineer of similar works should be submitted.
- 4.3 The bidder must comply the GTP of various items along with vendor name for supply of items in case of bought out items. All items should be type tested during last three (3) years, if applicable.
- 4.4 The Tenderer either shall themselves be manufacturer/Importer of the Plant & Machinery to be used in the project or has tie up with reputed manufacturer in India or abroad.

SPECIAL TERMS & CONDITIONS OF CONTRACT

1. **SCOPE OF WORK:** The scope of tender involves ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESH.
2. **PRICES:**The prices mentioned in the price schedule are firm & F.O.R. in all respect and no variation on any account shall be admissible.
3. **GST:** GST shall be paid extra as legally applicable.
4. **COMPLETION PERIOD:** The supply/work as per specification/BOQ, shall be carried out as per directions of Superintending Engineer, Operation & Maintenance Circle, Rishikesh or his authorized representative within 12 months from the date of LOA/Agreement.
5. **PERFORMANCE GUARANTEE DEPOSIT:** In order to ensure faithful completion of the contract, the successful contractor will deposit the performance guarantee in the shape of FDR/TDR/CDR/Bank Guarantee equal to 10% of contract value duly pledged in the name of Executive Engineer, 400KV O&M Division, Rishikesh at the time of Agreement/PO, which shall be released after successfully completion of period.
6. **PAYMENT:** 100% payment shall be released as per running bills which submitted by contractor as per actual measurement.
7. **VARIATION:** The quantities given in the schedule of price are tentative and may vary five per cent on either side.
8. **LIQUIDATED DAMAGES:** In case the firm fails in due performance of the contract within the stipulated completion period, liquidated damages @ half per cent per week subject to maximum 10% of the contact value shall be applicable and the cost will be reduced from the Contractor's bills.
9. **DEFAULT:** In case of default on the part of the Contractor, penalty equal to 10% of contract value shall be reduced from Contractor's bill.
10. **DISPUTE:**In case any dispute arising out of this contract the decision of Superintending Engineer (O&M), 400KV O&M Circle, Rishikesh shall be final and binding on both the parties.
11. **ARBITRATION:** In case the disputes are not resolved mutually, the provisions of Arbitration act shall be applicable.
12. **JURISDICTION:** The jurisdiction for adjudication shall be the Roorkee Court under the Hon'ble High Court of Nainital.
13. **CORRESPONDENCE:** All the correspondence related to this tender specification shall be made in English language or Hindi Deonagari. In case the correspondence is made in any Regional Language, is made, its translation either in English or in Hindi should be attached invariably.
14. **Supervision:** This work shall be supervised by the Executive Engineer, 400KV O&M Division Rishikesh.

TECHNICAL SPECIFICATION

NAME OF WORK/SUPPLY: ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESHAT 400 KV SUBSTATION RISHIKESH TENDER SPECIFICATION NO. T-05/SE(O&M)R/2020-21:

Maintenance of all lighting, fan and power supply system of Erector's Hostel at 400kv Substation Rishikesh.

- 1. Including all modular switch board, power point, fan point, lighting (Tube & ceiling light) point, street light, lawn light, all sub main MCB board & 3 phase main supply board etc. of room no. 1 to 12, 2 no. driver room, 2 no. store room, drawing room, dining area, ground & first floor gallery, street and lawn lights, around the building. Fault tracing & rectifying, connection of wire, tracing of faulty and replacing of MCB's, fuses, fan, switch & sockets etc.**
- 2. The Contractor should be providing 01 No. experienced electrician with experience in lighting and wiring work and 1 no. helper with him. The work also including all type of lighting work as direction by AE(M)/JE(M), 400KV S/s Rishikesh.**
- 3. Maintenance and servicing of all Air conditioners & voltage stabilizers installed in room no. 1 to 9, Drawing room & Dining area (7 no. all weather 1.5 ton split A.C., 3 no. normal split A.C., 1 no. 1.5 ton window A.C. & 01 no. 2 ton Window A.C) at Erector's Hostel building. Including regular servicing & cleaning (Normal A.C. twice in a year & all weather A.C. 4 times in a year), all type repairing work, gas topup, pcb repairing, pipe welding, fan motor and voltage stabilizer repairing etc.**
- 4. Maintenance and servicing of all water geysers installed in room no. 1 to 9, at Erector's Hostel building. Including regular servicing & cleaning (2 times in a year), all type repairing work, replacing gasket, replacing heater element, replacing connection pipe, repairing or replacing pcb and repairing or replacing power supply cable/ plug top etc.**
- 5. Maintenance of all sanitary & hardware items installed in room no. 1 to 9, Drawing room toilet & kitchen, driver rooms and store rooms at Erector's Hostel building etc. fault tracing & rectifying, repairing & replacing all water supply points at washbasin, shower, sink, toilet, lawn, repairing & replacing all size/type taps & pipe lines, cleaning of overhead water storage tanks (4 times in a year) etc.**
- 6. The Contractor should be providing 01 No. experience plumber with experience in plumbing work and 1 no. helper with him. The work also including all type of sanitary & hardware related work as direction by AE(M)/JE(M), 400KV S/s Rishikesh.**
- 7. Maintenance and up-keeping of doob grass lawn approx. 750 SqMtr Area in front of main building of Erector Hostel by regular watering, manuring as and when required, cutting of grass with lawn cutter, Dranti etc. for proper growth of grass in lawn, Cleaning/sweeping all foreign material, stone etc. As well as uprooting vegetation, woods and bushes etc. to ensure proper cleaning and throwing waste/rubbish outside the Substation premises. All required T&P/material in the contractor's scope. As per tender specification.**
- 8. Maintenance and up-keeping of back and side lawn (Approx. total 1250 SqMtr Area) by regularly watering, manuring as and when required, so as to ensure even and uniform growth of grass and its regular cutting, cleaning by scrapping the grass with lawn-cutter/Dranti, Cleaning /sweeping all foreign material, stone etc. As well as uprooting vegetation, woods and bushes etc. to ensure proper cleaning and throwing waste/rubbish outside the Substation premises. All required T&P/material in the contractor's scope. As per tender specification.**
- 9. Maintenance of various Trees & Plants, by regular Trimming, cleaning, watering and manuring so as to ensure regular growth of Trees & plants in proper shape including replacement of damaged, seasonal and unhealthy plants free of cost. All required T&P/material in the contractor's scope. As per tender specification.**

**Executive Engineer
400KV O&M Division
Rishikesh**

Bill of quantity

NAME OF WORK: ANNUAL MAINTENANCE CONTRACT OF ERECTOR'S HOSTEL SITUATED AT 400KV SUBSTATION, VIRBHADRA RISHIKESH

SL.NO.	DETAILS OF WORK	UNIT	QTY.
1	Maintenance of all lighting, fan and power supply system of Erector's Hostel at 400kv Substation Rishikesh. Including all modular switch board, power point, fan point, lighting (Tube & ceiling light) point, street light, lawn light, all sub main MCB board & 3 phase main supply board etc. of room no. 1 to 12, 2 no. driver room, 2 no. store room, drawing room, dining area, ground & first floor gallery, street and lawn lights, around the building. Fault tracing & rectifying, connection of wire, tracing of faulty and replacing of MCB's, fuses, fan, switch & sockets etc. The Contractor should be providing 01 No. experienced electrician with experience in lighting and wiring work and 1 no. helper with him. The work also include all type of lighting work as direction by AE(M)/JE(M), 400KV S/s Rishikesh.	Month	12
2	Maintenance and servicing of all Air conditioners & voltage stabilizers installed in room no. 1 to 9, Drawing room & Dining area (7 no. all weather 1.5 ton split A.C., 3 no. normal split A.C., 1 no. 1.5 ton window A.C.& 1 no. 2 ton Window A.C) at Erector's Hostel building. Including regular servicing & cleaning (Normal A.C. twice in a year & all weather A.C. 4 times in a year), all type repairing work, gas topup, pcb repairing, pipe welding, fan motor and voltage stabilizer repairing etc.	Month	12
3	Maintenance and servicing of all water geysers installed in room no. 1 to 9, at Erector's Hostel building. Including regular servicing & cleaning (2 times in a year), all type repairing work, replacing gasket, replacing heater element, replacing connection pipe, repairing or replacing pcb and repairing or replacing power supply cable/ plug top etc.	Month	12
4	Maintenance of all sanitary & hardware items installed in room no. 1 to 9, Drawing room toilet & kitchen, driver rooms and store rooms at Erector's Hostel building.etc. fault tracing & rectifying, repairing & replacing all water supply points at washbasin, shower, sink, toilet, lawn, repairing & replacing all size/type taps & pipe lines, cleaning of overhead water storage tanks (4 times in a year) etc. The Contractor should be providing 01 No. experience plumber with experience in plumbing work and 1 no. helper with him. The work also include all type of sanitary & hardware related work as direction by AE(M)/JE(M), 400KV S/s Rishikesh.	Month	12
5	Maintenance and servicing of complete Intercom system installed in room no. 1 to 9, Drawing room & Dining area, driver rooms, reception & kitchen at Erector's Hostel building. Including regular servicing & required maintenance, all type repairing work, intercom main exchange, pcb/ electronic card repairing, wire line connections and intercom instruments repairing etc.	Month	12
6	Maintenance and up-keeping of doob grass lawn approx. 750 SqMtr Area in front of main building of Erector Hostel by regular watering, manuring as and when required, cutting of grass with lawn cutter, Dranti etc. for proper growth of grass in lawn, Cleaning/sweeping all foreign material, stone etc. As well as uprooting vegetation, woods and bushes etc. to ensure proper cleaning and throwing waste/rubbish outside the Substation premises. All required T&P/material in the contractor's scope. As per tender specification.	Month	12

7	Maintenance and up-keeping of back and side lawn (Approx. total 1250 SqMtr Area) by regularly watering, manuring as and when required, so as to ensure even and uniform growth of grass and its regular cutting, cleaning by scrapping the grass with lawn-cutter/Dranti, Cleaning /sweeping all foreign material, stone etc. As well as uprooting vegetation, woods and bushes etc. to ensure proper cleaning and throwing waste/rubbish outside the Substation premises. All required T&P/material in the contractor's scope. As per tender specification.	Month	12
6	Maintenance of various Trees & Plants, by regular Trimming, cleaning, watering and manuring so as to ensure regular growth of Trees & plants in proper shape including replacement of damaged, seasonal and unhealthy plants free of cost. All required T&P/material in the contractor's scope. As per tender specification.		
	a. Plants and Seasonal flower plants in flower bed (180 Sqmt.)	Month	12
	b. Trees (80 no.)	Month	12
	c. Plants in flowerpots (310 no.)	Month	12
	d. Hedge Plants in lawn (200 RMT)	Month	12